
Green Valley Ranch

*Amended and Restated Homeowner
Architectural and Landscape
Guidelines and Standards*

HENDERSON, NEVADA

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1. Purpose

The purpose of these Amended and Restated Homeowner Architectural and Landscape Guidelines and Standards ("Guidelines"), which restates the previous architectural guidelines dated July of 1995 is to ensure visual continuity, high-quality, consistency in design and a sense of order throughout the residential area of the Green Valley Ranch Community. These Guidelines provide criteria for design review and an objective basis for the decisions and recommendations of the Green Valley Ranch Architectural and Landscaping Committee ("ARC") created by the Declaration of Covenants, Conditions, Restrictions, Reservations and Easements of Green Valley Ranch filed for record on April 29, 1994, in Book 940429, as Instrument No. 00717, in the Office of the County Recorder, Clark County, Nevada, in its review of any proposed improvements. These Guidelines are a supplement to the Declaration and amplification thereof and binding on any person or entity which intends to construct, reconstruct or modify any permanent or temporary structure or improvement within the residential area of the Green Valley Ranch Community Association ("Master Association").

Policies and Resolutions Superseded:

These Guidelines also incorporate various policies and resolutions regarding architectural improvements that have been adopted by the Master Association Board of Directors over time. As such, the following policies and resolutions are hereby vacated and the terms therein are incorporated in these Guidelines, modified or otherwise:

1. Appeals Resolution dated January 17, 2008;
2. Grass Edging Resolution dated July 19, 2001;
3. Oleander Plant Approval dated September 22, 2000;
4. Satellite Dish Policy dated January 15, 2004;
5. Security Bars Resolution dated September of 1999;
6. Temporary Shed Resolution dated January 17, 2008;
7. Shutter Installation Resolution dated January 15, 2004;
8. United States Flag Resolution dated 2004.

In the event that there is any conflict between the terms of these Guidelines and the Declaration, the Declaration shall control. In the event of a conflict between these Guidelines and Nevada law, Nevada law shall control. Nothing herein shall be deemed to limit or eliminate any rights of the Board of Directors or the ARC as set forth in the Declaration.

2. Design Review Process and Appeals

2.1 Construction Activities that Require Review.

Any site development construction, reconstruction, refinishing or alteration of any part of the exterior of any structure or other improvement including, but not limited to, walkways, driveways, patios and landscaping, is prohibited until Applicant first obtains approval from the ARC.

2.2 Submittal Procedure

In order to obtain review by the ARC, the general provisions of the Declaration as set forth in Article 11 and the following procedures and requirements must be followed by the Applicant:

- A. Submit one set of the complete "submittal package," which includes the following items that apply to the proposed improvement.
 1. Form of Application. The appropriate application form completely filled out as determined by the ARC for review of the proposed plans and other materials. The application shall be attached to each set of plans. The plans shall be a maximum of 24x36 format, but 11x17 is encouraged.
 2. Site Plan. Depict the new structure or improvement on the lot in relation to existing structures and improvements. Accurate measurements of all aspects (height, length, width, required setbacks, etc.) of each new improvement or structure must be indicated. The homes on adjoining lots affected by the structure or improvement must be indicated with exterior windows and doors labeled to indicate the rooms behind and their relative height from the mound. Indicate any pertinent topographical variations on the lot and the relative grade of the adjacent lot. The site plan shall be at 1" = 20'-0" scale minimum.
 3. Landscape Plan. Provide a landscape plan accurately depicting the lot, residence, property lines, existing walls and fences, concrete or masonry walkways and patios, air conditioning unit pad and proposed improvement(s). All Landscape materials, such as sod, trees and shrubs must be located and labeled on the plan with common name and pot size, particularly any plant material being installed to screen any addition, RV parking, etc., from any adjoining lots or public areas. Provide samples of decorative rock or indicate the size and color on the plan. The landscape plan shall be at 1" =20' minimum scale. (See Section 4.4 for list of recommended plant material.)
 4. Architectural Floor Plan. Where applicable, provide

dimensioned plan (horizontal view) of the structure. All adjacent rooms should be labeled, and the square footage of the new structure indicated, as well as the increased footage of the home. Please note that the City of Henderson has strict coverage and floor area ratio (F.A.R.) requirements which govern the size of a structure in relation to the lot it occupies. *Check with the City before proposing any new additions to an existing structure to confirm it will be allowed.* The floor plan shall be at 1/4" = 1'-0" scale minimum.

5. Exterior Elevations. Where applicable, provide drawings of exterior facade for all sides of the proposed structure with all materials and heights labeled. The scale shall be 1/4" = 1'-0" scale minimum.
 6. Typical Cross-Section. (Optional) Provide cross-section if it helps explain the nature of the improvement or its relation to adjoining lots. (A cross-section is the profile of the structure or lot as it would appear if cut through by an intersecting plane).
 7. Color and Material Boards and Product Brochures. Where applicable, provide manufacturer's color paint chips, roofing material, etc., attached to a 11x17 board (or labeled in an envelope) for any materials or colors that are deviating from the original home colors, along with color photographs of the original structure. Provide brochures or pictures of proposed prefabricated gazebos, patio covers, fencing, etc.
 8. Neighbor Awareness Forms. Certain improvements visually impact the adjoining and surrounding homeowners. These Guidelines later outline those instances when a Neighbor Awareness form is required as part of the submittal package.
 9. Context Photographs. Where applicable, provide pictures of adjacent facades, fences, etc., affected by this work or improvement.
- B. Within forty-five (45) days of receipt of a complete "submittal package," the ARC will notify the Applicant, in writing, of the ARC's approval, conditional approval, denial of or a request for more information relating to the application. The ARC will notify the Applicant in writing if any additional time is needed to review the application.
- C. In the event an application, or any portion thereof, is approved, the Applicant will, before commencing any construction or alteration:
1. Obtain all required permits from the City of Henderson and any other appropriate governmental agency.

2. When considered appropriate by the ARC, post with the Green Valley Ranch Community Association, Inc. ("Association") a cash bond in the amount determined by the ARC which guarantees that any damage to the common area or neighboring property resulting from the execution of the work will be repaired in a timely manner at the Applicant's expense.
3. The work of improvement must be started within three (3) months of ARC written approval or that approval is thereafter void. During construction the site must be kept clean and all building materials must be stored in an orderly fashion and every attempt made to screen from public view. The project must be completed in a timely manner and must be completed in accordance with the approved plans. Unless otherwise noted under a specific improvement category, the improvement must be completed in accordance with the approved plans within one hundred twenty days (120) days from start of construction unless otherwise noted in writing.

- D. Periodic progress inspections may be made by a representative of the ARC. As a condition of any approval, the ARC may request that the Applicant notify the ARC in writing of the completion of the project and request a final inspection.
- E. If approved improvements are not installed properly or in timely fashion, the ARC reserves the right to request in writing correction or mitigation steps be undertaken by the Applicant. If the correction is not made within forty-five (45) days, the Association under the Declaration may enter upon the lot to make necessary corrections, impose fines and other sanctions after a hearing in front of the Board or bring any enforcement proceedings against the Applicant as permitted by law.
- F. Applicants shall have the right to appeal any decision of the ARC. An appeal may challenge an approval or denial on a variance or a submittal referencing an area where the documents are silent.

The appeal must be communicated to the Master Association Board of Directors in writing within fourteen (14) days of the date of the ARC decision. Upon receipt of the appeal, the Board of Directors shall decide to hear the appeal at the next regularly scheduled executive session.

The Board of Directors shall notify the appealing parties, the ARC and the affected property owner(s), if deemed necessary by the Board, of the date, time and location where the appeal will be heard, which will be held in executive session. The appellate process will be open only to those deemed necessary by the Board but shall not include more than

the aforementioned parties.

Upon reaching a decision, the Board of Directors shall have ten days to notify the ARC, the appealing parties and the property owner(s) of their decision after the hearing.

3. Standards for Architecture

3.1 Patio Covers and Balconies

A. Overview

Patio covers and balconies viewed from public streets, common areas or spaces shall be designed and detailed to maintain the same level of quality as the street elevations. These Guidelines establish minimum criteria to maintain acceptable aesthetic appearance of patio covers and balconies. It will be the builder's and homeowner's responsibility to construct patio covers and balconies of appropriate materials, and to maintain them. (See Section 5.1, Construction Material Guidelines for standards.) The ARC reserves the right to require maintenance and/or replacement of any components it reasonably deems unsightly.

Except for custom homes, each builder has developed suggested standard patio cover and balcony locations, configurations and detailing criteria for their development within Green Valley Ranch. These suggested criteria have been reviewed and approved by the ARC. Variations from these standard configurations or construction methods must be individually submitted to the ARC for review and approval.

If a patio cover is modified or converted to an enclosed lanai or similar use, the structure will be considered an addition and the requirements for additions will apply, including the requirement for separate ARC approval and approval by the City of Henderson. (See Section 3.2.)

B. Appearance Criteria (see attached figures 4, 5 & 6 for typical sketches)

1. Minimum post/column dimension as single or composite member:

- (a) For wood posts use 5 1/2" minimum dimension (6x6 nominal).
- (b) For metal posts use 5 1/2" minimum dimension or pair 2x6 separated columns similar to Future Wood by CThru Industries, Inc. or equal.
- (c) For stucco column use 12" minimum and 32" maximum width or length with texture to match adjacent home or smoother.
- (d) For block column use 12" minimum and 32" maximum width or length with split face, slump or stucco finish.

2. Minimum exposed beam size as single or composite member shall be 3 1/2" x 7 1/2" (4x8 nominal) for wood or metal.
3. Open trellis patio cover can be shaded in the following ways:
 - (a) By wood trellis members if screened from view by supporting beams with no exposed ends and a minimum dimension of 1 x 1 1/2" (2x2 nominal); if exposed use 3 1/2" x 5 1/2" (4x6 nominal). Use blocking to provide stability from twisting.
 - (b) By PVC plastic or wood lattice of adequate 3/8" thickness and installed and finished per manufacturer's recommendations to avoid deterioration and with adequate support to eliminate sagging.
 - (c) By exposed metal trellis members which are 1 1/2" x 1 1/2" minimum dimension, similar to FutureWood or equal patio cover system.
 - (d) By fabric (black or green) if screened from public view by trellis structure.
4. Solid "flat" roofed patio covers shall have a parapet with minimum 18" height. They shall be treated as an extension of the home and it is recommended that the parapet have trim to match the home fascia size, particularly if the two tie together. Use built-up roofing or other waterproof treatment with finish color to match adjacent stucco or the home roofing material. At sloping roof, use roofing tile to match home roofing and a roof pitch to match the house roof with a maximum variance of 2:12. No fiberglass or metal corrugated roofing will be allowed.
5. Canvas roll-ups are permitted as patio covers so long as the color matches the color of the house. Canvas awnings are not permitted.
6. Balconies shall have painted metal and/or stucco guard railing consistent with home detailing and railing patterns. Plexiglas or tempered glass frames can be used, but frame must be consistent with adjacent home window surround sizes (3 1/2" minimum width).
7. The use of gutters and downspouts to reduce water staining at balconies or solid roofed patio covers is recommended. The metal should be painted to match adjacent surfaces. The ALC will require mitigation by painting if parapet staining becomes unsightly.
8. The colors used for patio cover and balcony shall match home

accent or fascia color for railing and field color for structure.

9. Patio cover or balcony members may be subject to replacement if:
 - (a) The member deflects more than 1" over span of 12'-0";
 - (b) The member warps more than 1/2" from square; or
 - (c) The member develops more than two cracks or if cracks exceed 1/8" in separation and 6" in length.

C. Setback Criteria

1. Patio covers shall comply with City of Henderson setback criteria. To enhance visual separation and privacy between homes, the following additional criteria will be observed in Green Valley Ranch:
 - (a) Provide minimum 5'-0" setback to sideyard property line.
 - (b) Any portions of shade structure extending further than 10'-0" from rear wall of home shall have an increased setback of 10'-0" from sideyard property line (see figure 7) or have planting hedge or trees of sufficient height to screen shade structure from adjacent property. (See Section 4.4 for acceptable planting materials.)
2. Balconies shall comply with City of Henderson setback criteria. To enhance visual separation and privacy between homes, the following additional criteria will be observed in Green Valley Ranch:
 - (a) Provide minimum 5'-0" setback to sideyard property line.
 - (b) Any portion of a balcony extending further than 8'-0" from the rear wall of home shall have an increased setback of 10'0" from sideyard property line. (See attached figure 8.)

3.2 Additions

- A. Any addition, modification or alteration to the exterior of any structure or improvement must be approved by the ARC. Any improvement(s) shall match the adjacent existing architecture in color, materials and character and comply with the overall purpose of these Architectural Guidelines. Unless otherwise specifically stated below or otherwise stated in writing by the ARC, any additions, modification or alterations must be completed within one-hundred twenty (120) days from start of construction. .
 1. Prior to submitting drawings for an addition on a lot less than 6,000 s.f., verify compliance with City of Henderson F.A.R.. On all lots, confirm new setbacks with the City of Henderson. However, the ARC is not responsible for verifying an Applicant's

compliance with any city code or permit requirement.

2. Re-painting, re-roofing, etc., of any color or material other than the original approved color and material requires approval of the ARC and must be completed within 120 days from start of construction, unless otherwise stated by the ARC in writing. Furthermore, any repainting of a dwelling using any of the approved color palettes does require ARC approval, unless the repainting is of the original color or a color for which the Owner obtained previous approval for. Owners can contact the Master Association management or the ARC for information relating to the approved color palettes.
3. Adding or modifying greenhouse windows, skylights, windows, doors, etc., requires approval of the ARC and must be completed within 120 days from start of construction, unless otherwise stated in writing.
4. Adding awnings, whether fabric or metal, requires approval of the ARC and must be completed within fifteen (15) days from start of construction, unless otherwise stated in writing.

3.3 Accessory Buildings

- A. Any detached accessory buildings or structures including, but not limited to, sheds, gazebos, pool houses, entry porticos, etc., whether prefab or field built, must be approved by the ARC. Any portions visible to public view must either be screened by approved landscape (see Section 4) or match adjacent architecture in color, materials and character.
- B. Accessory buildings shall comply with City of Henderson setback criteria. In addition, any structure over 6'-0" in height shall have minimum setback of 5'-0" from rear or sideyard property line. All accessory structures will have minimum setback of 5'-0" behind frontyard setback line.
- C. Any landscape installed to provide a screening must thereafter be properly maintained.

3.4 Recreational Vehicle Parking

- A. Recreational vehicles including, but not limited to, boats, off-highway vehicles and motor homes may be parked in side or rear yard if driveway access, screening and setbacks are designed to mitigate the visual impact on the community and neighbors, and if approved by the ARC. For screening plans, submit dimensioned site plans, gate and wall elevation landscape plans and identify the vehicle to be screened for review and approval by the ARC. Any improvements built to accommodate and screen recreational vehicle parking must meet City

of Henderson requirements as well as the following additional criteria:

1. Driveway paving coverage shall not exceed 60% of front yard and curb cut shall not exceed 28'-0". The use of a grass paving system is encouraged. Any area using this material will not be included in driveway paving coverage calculation. (See Section 4. for recommendation.)
2. The maximum width of uninterrupted driveway shall be 30'-0". Provide 24" minimum width landscape strip between driveways.
3. There shall be minimum 3'-0" driveway setback from side yard property line.
4. The parking area shall be screened from view by at least 6'-0" height opaque metal or wood gate and wall. The gate and wall shall be setback a minimum of 3'-0" toward rear from adjacent existing structure.
5. The parking area shall have minimum 5'-0" setback from property line for a vehicle up to 6'-0" in height and an additional 12" of setback for each 12" of height above 6'-0" up to 10'-0" setback maximum. The ARC may request additional setbacks depending upon locations and relative height of windows in adjacent home. (See attached figure 9 for typical sketch.)
6. The driveway access, gate and parking area will be treated with plant materials of sufficient height and mass to screen these areas from public view. Sufficient height of landscaping materials shall be determined by the ARC at the time of installation of such landscaping. (See Section 4 for list of species and minimum sizes of planting material recommended as screening materials.)
7. In determining screening requirements for RV parking, sufficient screening shall be determined at the time of installation of such screening materials. In determining sufficient screening, the ARC shall consider views from common areas and adjacent lots. The ARC has no duty to ensure that any RV is completely screened from any particular view.

3.5 Fencing and Walls

- A. Frontyard fencing shall match in color, materials and character the adjacent architecture. All frontyard fencing or hedges will need to be approved by the ARC. Submit dimensioned plot plan, gate and fence

elevations, and landscape plan for review and approval. Location and height shall meet applicable City of Henderson codes as well as complying with the following criteria.

1. Maximum height of a solid or metal frontyard fence shall be 4'-0". The height will be reduced to 2'-8" for solid wall within required frontyard setback.
 2. There shall be a minimum 5'-0" planting strip between property line and fence.
 3. Wood and chainlink are prohibited frontyard fencing materials.
 4. Any plant screen or hedges planted to create a wall shall follow same setback and height criteria as a solid wall.
- B. Sideyard and rearyard fencing visible to public view is to be block with split face, slump, or stucco finish. Wrought iron fencing can be used at open space opportunities if approved by ARC. The wall shall have a color that matches adjacent architecture or perimeter wall. Metal gates are permitted and should be painted to match (or be compatible with) colors of adjacent architecture. The fences shall have maximum height of 6'-0" measured from highest finished grade within 3'-0" of wall or as prescribed by the City of Henderson.
- C. Perimeter block walls may be raised, subject to ARC approval. Any application to raise perimeter block walls must include a report as to strength of the wall to accommodate additional courses. In no event may common area perimeter walls be raised. Conversion of wrought iron perimeter fencing to block wall is not permitted where wrought iron fencing is exclusively to separate a rear yard from common area, such as wrought iron fencing adjacent to common area trails.

3.6 Sports Apparatus and Play Equipment

- A. Whether permanent or portable, all sports equipment including basketball backboards, batting cages, trampolines, etc., or play equipment such as swing sets, treehouses, etc., must have prior approval of the ARC. A dimensioned site plan; pictures or drawings of proposed equipment; and landscape plan must be submitted to the ARC for review and approval. The following standards shall pertain:
1. Permanent equipment or apparatus will be allowed in the rearyard or sideyard if proper setbacks and sufficient screening is provided.
 2. Portable equipment or apparatus will be allowed in a frontyard during use only in specific pre-approved locations. The

equipment or apparatus is to be stored in an area screened from view between uses and at night.

3. Any "night lighting" shall be installed so as to not unreasonably illuminate neighbors' property.
4. Permanent basketball backboards shall maintain a 15'-0" setback from any property line. Provide and maintain a 10'-0" height landscape screen. (See Section 4.4 for recommended planting material.)
5. Batting cage shall maintain a 15'-0" setback from any property line. Provide and maintain a 12'-0" height landscape screen. (See Section 4.4 for recommended planting material.)
6. Tree houses, pool slides, swing-sets, etc., over 6'-0" in height shall maintain a 5'-0" setback from visible portions of those structures to property lines. Provide and maintain a landscape screen of sufficient height and mass to screen equipment from view. (See Section 4.4 for recommended planting material.)
7. Any other equipment or apparatus more than 6'-0" in height, or which elevates a user more than 8'-0" in height, will require a 5'-0" setback to property line and landscape screen and may be entirely prohibited in single story communities. (See Section 4.4 for recommended planting material.)
8. In determining screening requirements for sports apparatus and play equipment, sufficient screening shall be determined at the time of installation of such screening materials. In determining sufficient screening, the ARC shall consider views from common areas and adjacent lots. The ARC has no duty to ensure that any sports apparatus or play equipment is completely screened from any particular view.
9. Hours of operation. Under no circumstances shall any equipment or apparatus be utilized between the hours of 10:00 pm and the next-following 7:00 am.

3.7 Satellite Dishes

Subject to the limitations set forth in the Federal Communication Act of 1996 and any rule or regulation promulgated thereunder by the Federal Communication Commission regarding the installation and maintenance of

certain satellite dishes and antenna for the reception of television signals, the following rules and regulations shall apply to the installation and maintenance of satellite dishes and antennas:

- A. Satellite Dishes defined: for purposes of these Guidelines, "satellite dish" or "satellite dishes" refers to any device used to receive video programming signals and/or used to receive and transmit fixed wireless signals, including direct-to-home Satellite Dishes that are one meter (39.37") in diameter or less, TV antennas and wireless cable antennas designed to receive signals from direct broadcast satellites ("DBS"), multi-channel multipoint distribution (wireless cable) providers ("MMDP") and television broadcast stations ("TVBS").

- B. An owner may install a satellite dish for the reception of television signals on its lot, provided:
 - 1. To the extent practicable, the dish is screened from public view (i.e., from street, sidewalk, parks, etc.) by ARC approved wall or landscape screen. (See Section 4.4 for recommended planting material.)

 - 2. Maintenance:
 - (a) Owners shall retain responsibility for satellite dish maintenance, replacement and repair. If installation of the satellite dish increases maintenance costs or causes damage to the Master Association or other Owners, the Owner who installed or is responsible for the installation of the satellite dish shall be liable for any and all such costs.

 - (b) If the Master Association maintenance requires temporary removal, owners of a satellite dish shall be provided ten (10) days notice in order to have the dish removed. If the Owner does not have the satellite dish removed within the ten (10) day notice period, the Association shall remove the satellite dish and the Owner shall be responsible for any and all costs incurred by the Association. The Association shall not be liable for any resulting damage, which may or may not occur, to the satellite dish from its removal by the Association.

 - (c) Owners of satellite dishes are responsible for all maintenance and associated costs of up-keep. Owners shall not allow their satellite dishes to fall into disrepair or become detached. If a satellite dish falls into disrepair or becomes detached so as to create a safety hazard, the Association may remove the satellite dish at the Owner's expense without notice.

3.8 Solar Panels

The installation of any solar panels or equipment must be approved by the ARC prior to installation. Subject to the limitation set forth in Nevada Revised Statutes regarding the installation and maintenance of a system for obtaining solar energy on his property, the following rules and regulations shall apply to the installation and maintenance of solar panels and must be considered in the preparation of any application for solar panels or equipment:

- A. All solar panels are prohibited except low profile roof mounted or ground mounted panels.
- B. An owner may install roof or ground mounted panels provided:
 - 1. The panels are located on rear-facing roof slopes. They can be located on side-facing roof slopes if sun orientation dictates but never on front-facing roofs.
 - 2. The panels are low profile and rectangular in shape and mounted in same plane as the roofing material.
 - 3. All piping and/or conduit extending from the roof will be painted to match the original structure.
 - 4. Ground mounted panels shall be lower than 6'-0" height.
 - 5. The owner submits dimensioned site plan; landscaping plan; and equipment brochure demonstrating how panels will be mounted and installed screened from view (if installed other than on the roof) and obtains the ARC approval before proceeding.

3.9 Exterior Lighting

- A. Frontyard lighting shall conform in character and materials with adjacent home fixtures and community wide criteria. Lighting fixtures shall be complementary to landscape theme and screened from adjacent lots and public view. The owner shall submit dimensioned plot plan, landscape plan, and fixture brochure and obtain the ARC approval before installing.
- B. Sideyard and rearyard landscaping and security lighting shall be screened from view of adjoining lots and public view. No light fixtures are to provide more than one (1) foot candle power as measured from 18" or more beyond the lot line.
- C. No low or high pressure sodium or colored bulbs are permitted.

3.10 Mailboxes

- A. Use only ARC approved mailbox designs and locations.

3.11 Clothesline

- A. No permanent or temporary clotheslines or supporting structures shall be visible to public view or adjacent lots. In no event may any clothesline or supporting structure exceed 6'-0". Applicants must provide landscape screening as necessary, which must be approved by the ARC prior to installation. (See Section 4.4 for landscaping material.)

3.12 Pavers

Concrete pavers in the front of home must be complimentary to the Applicant's home and of light neutral colors including, but not limited to: Buff, Light Brown, Tan and Pewter.

3.13 View Rights

Owners do not have any rights to protected views from any portion of their units. The ARC may consider view impacts as one factor in making determinations on applications but has no duty or responsibility to ensure the continuation of any particular view.

3.14 Security Bars

Bars on the windows will not be permitted. Entryway gates shall have a maximum height of 6 feet. However, the ARC may grant a variance to the 6 foot limitation based on circumstances presented by an Applicant's application. Entryway gates shall be decorative in design. Any protruding spikes are not permitted. Screen doors may be required to match the color of the existing door and be decorative. All gates and colors must be approved by the ARC before installation.

3.15 Temporary Sheds

Subject to the conditions herein, the use of "Temporary Sheds" is permissible without prior approval from the ARC. The definition of "Temporary Sheds" shall mean the following: sheds that do not have a permanent floor (i.e. concrete floor) shall be not taller than the side or rear walls and not visible from public view in front of home. Appropriate screening must be conducted if shed is visible through side gate.

Temporary Sheds do not include sheds with permanent floors or those that extend above the height of any wall. These sheds will continue to be considered as structures and fall under the guidelines in place.

3.16 Shutter Installation

The Master Association will permit, subject to ARC approval, exterior shutters, such as Rolladen shutters, to be installed and attached to a unit for the purposes of providing security or energy saving and/or attached to common area walls adjacent to the unit for providing the same safety or energy savings to the unit owner providing the following criteria are met:

- A. The owner must apply to the ARC, pursuant to the existing documents, in advance of installing the shutters ("Shutters").
- B. If the Shutters installation is approved by the ARC, the owner shall install the Shutters within 120 days of the owner's receipt of the ARC's approval. If the owner fails to install the Shutters within such 120 day period, the owner must re-apply and obtain approval from the ARC;
- C. The owner shall, in the declaration referred to above, release the Association from any and all responsibility with respect to the maintenance responsibilities for the area to which the Shutters are attached, if the Master Association had any such responsibility, provided however if the Master Association is responsible therefor, the Master Association may maintain such area. If there are increased costs for maintaining the area, the owner will be responsible for those costs as a special assessment to be levied against the owner's unit should the owner fail to pay amounts when requested;
- D. The declaration referred above shall provide that the owner shall engage qualified contractors with insurance naming the Master Association as an additional insured in connection with the installation of the Shutters;
- E. The declaration referred to above shall provide that the owner will indemnify the Master Association, its officers, directors, members, affiliates and representatives from any and all damages with respect to the installation of the Shutters including claims that the Association has failed to maintain the area where the Shutters are attached; and
- F. The Shutters shall be in a color approved by the ARC.
- G. If the owner applies to install Shutters to a window, sliding glass door or similar opening (collectively "Windows") and such owner has more than one window, if approved, the owner must attach Shutters to each Window of the Unit.
- H. The ARC may add any additional terms and conditions that it believes are appropriate to the declaration referred to above as long as the ARC deems them to be reasonably necessary and that any officer of the Master Association is hereby authorized to execute the declaration referred to above or any other document reasonably necessary to effectuate the

foregoing.

3.17 Wind Energy Systems

Owners may install on their lots systems for obtaining wind energy as contemplated by NRS 111.2395. However, owners must submit an architectural application with plans showing size and dimensions, color and location, among other pertinent aspects of the system. In determining whether to deny, approve or conditionally approve the system, the ARC may reasonably restrict the installation based on the height, color, noise, location or safety of the system.

3.18 Screening for Wrought Iron Gates and Fencing.

Owners may apply to the ARC to install screening material on rear or side yard wrought iron boundary fencing and may apply to install screening on side gates. For materials that may be attached to the fencing or gates, only vinyl or metal mesh materials may be used. Landscape screening may also be used. In addition to other conditions the ARC may impose, any such mesh materials must be painted to match the wrought iron fencing or gates. In no event may chicken wire be used. The ARC will determine the manner in which the screening material may be attached or fastened to the fencing or gates. If deemed appropriate, the ARC may impose as a condition of approval that the Applicant reimburse in some manner the Master Association for any damage to the fencing or decrease in useful life of the fencing if the Master Association has a duty to repair and/or replace such fencing.

3.19 United States Flag

Any resident may exercise their lawful right to display the flag of the United States America on their own property or property which they have exclusive use subject to the following:

- A. Flag Poles: Owners may install freestanding flag poles for the display of the United States flag on their lot if approved by the ARC. The ARC shall review any and all flag pole applications for location, placement, materials and manner of mounting on the lot. The flag must be made of cloth, fabric or paper, be no larger than 3 feet by 5 feet, the pole no taller than 15 feet and must be set back from each boundary of such property at least the same distance as the pole is tall.
- B. Eaves Mounted Flags: Owners may mount on the eaves of their homes a flag pole for the display of the United States flag without prior approval from the ARC so long as the flag is not more than 2 feet by 3 feet and the pole does not extend more than 4 feet from the eave. All other flags will be dealt with on an individual basis and must have prior ARC approval.

3.20 Painting.

Owners are permitted to repaint their homes without the submission of an ARC application if the owners repaint the home the exact same color and color scheme as the home was painted by the original developer or as previously approved by the ARC. Any other repainting or change in color or scheme must be applied for and must be in accordance with approved color palates. Owners must contact their sub-associations, if any, and the Master Association for information on the approved color palates.

3.21 Pools and Spas.

Plans for pool and/or spa installation must include, among other application requirements, detailed dimensions and locations of the pool and/or spa, any anticipated staging and access for construction and related equipment. The ARC may require in its discretion a bond for crane use or other aspects that the ARC deems to require a bond.

4. Standards for Landscaping

4.1 Modification of Front Yard Landscaping

- A. Any modification to front yard landscaping must be submitted to and approved by the ARC, including, but not limited to, masonry or concrete walkway and patio, driveway, landscaping materials and lighting.
- B. The front yard landscape must maintain a minimum of 50% "green" exclusive of minimum driveway. Additional driveway provided for a recreational vehicle or boat parking, etc., shall not reduce the 50% green requirement. The use of a grass paving system as extra driveway is encouraged and will be considered "green" in calculation. (See attached figure 10 for the calculation method.) The "green" can consist of approved lawn, ground cover, shrubs, grass paving system or artificial turf. The 50% "green" space is not intended to break-up a large space into several small ones, but to create spaces with a purpose by utilizing trees, shrubs, and ground covers in organized groupings and massings with occasional accents. Grass and other ground covers should be utilized to create areas of greenery and dense vegetation. (See attached Figure 11 for examples.)

Although organic materials are encouraged, artificial turf and plants may be used to satisfy the 50% greenery requirement. However, any artificial turf grass used must utilize a silicone-based sand as the turf filler. Notwithstanding the above, the ARC may modify the greenery requirements stated herein in the event they are inconsistent with municipal water restrictions as they may be amended from time to

time.

- C. So long as the applicant's front yard is of sufficient size, the front yard landscape must include a minimum of two (2) "approved" trees in 24" boxes per lot with maximum 10' to 12' setback from back of curb to centerline of trunk. Also, ten (10) five gallon shrubs, and twenty-five (25) one gallon shrubs and/or ground covers or lawn/sod with 25% front yard coverage. (See recommended plant list at Section 4.4.). The Declarant of Green Valley Ranch Community Association promulgated a list of lots that are not sufficiently large enough to accommodate two trees. In addition to these lots, the ARC has the discretion to determine whether or not a lot is large enough to accommodate the landscaping requirements set forth under this Section 4.
- D. Subject to the flag pole requirements in Section 3.19, freestanding flag poles shall be limited to a maximum of 15'-0" in height.
- E. Religious, secular, etc. displays are permitted in accordance with any policies or resolutions adopted by the Master Association Board from time to time. Fountains, individual pieces of sculpture, etc., must be submitted to the ARC prior to installation with site plan and picture. Approval will be on an individual basis and will depend on the individual circumstances and the impact to the overall community image.

4.2 Landscaping and Maintenance

- A. Builder-installed front yard landscaping.
 - 1. Maintain vigorous and healthy growing plants and lawn.
 - 2. Do not install grass within 2'-0" of any perimeter walls. .
 - 3. Lawn areas shall be minimum 3'-0" in any dimension. Install grass configuration which best matches the irrigation spray. (Configure grass area to be 10'-0" to 12'-0" if 12' radius lawn spray heads are used.)
 - 4. Provide grass edging of concrete, brick pavers set on concrete or steel. Plastic edging may be installed only with the prior approval of the ARC. Plastic edging must be maintained in an attractive condition and replaced necessary to maintain an attractive appearance.
- B. Sideyard and rearyard areas are not to be used for material storage, unless adequately covered or screened.

- C. Rearyard landscaping criteria.
 - 1. Utilize Landscape Design Intent (Sections 4.2A and 4.3) and Irrigation Design Intent (Section 4.5) criteria.
 - 2. Use small screen trees when landscape space is less than 3' from walls, walks and structures.
 - 3. Trees shall be located to avoid unreasonably blocking neighbor's views or overhanging into neighbor's yards.
- E. At all full size trees, provide at least 5' setback from walls, walks and structures to centerline of trunk.
- F. Be sensitive to neighboring yards. Compliment and harmonize by using similar shapes and materials.

4.3 Landscape Design Intent

- A. Plant material must be tolerant of the Las Vegas climate. Landscape designs for the residence shall reflect a mixture of no more than two of the three landscape zones identified. Each landscape zone has a distinct character and if used properly they will complement the different architectural styles used throughout the ranch. The three landscape zones are as follows:

Zone 1 Mini Oasis

This landscape zone consists of plants that are lush in appearance and typically not drought tolerant. This zone requires irrigated turf, trees and shrubs.

Zone 2 Southwest Desert

This landscape zone would include plants that are low water users particularly rich with color and texture; commonly found throughout the southwest desert region. This zone would require drip irrigation.

Zone 3 Mojave Desert

This landscape zone consists of using the natural vegetation found in the local desert region. The landscape patterns would be enhanced by increasing the density of plants that can survive on rainfall alone. Wildflower seed would also be used for color and texture change. This zone is one of the most difficult to design and special consideration should be given to its use.

- B. Slopes.

All slopes shall be landscaped after grading for erosion control. Sloped lawn areas shall be kept under the 3:1 ratio (3'-0" of horizontal

for 1'-0" of rise). It is best for lawn areas to use a 5:1 ratio for water run-off protection. All landscape areas with slopes that exceed the 3:1 ratio shall be retained by walls or rock boulders. It is important that the existing drainage away from the house itself be maintained.

C. Inorganic Mulches.

1. Top dressing material may be decomposed granite or crushed rock mulch which shall be consistent in color and size throughout the landscape and installed at two inch depth. Color of mulch material shall be complementary to the individual house color and earth tones throughout the ranch. White rock is not permitted. Plastic under base is not permitted.
2. Cobble rock should be kept near 3" to 8" in diameter, but must not exceed 12" in diameter. Not more than 30% of the frontyard landscape can be in cobble rock.
3. Rock boulder color is to match decomposed granite or crushed rock. Rock boulders to be set a minimum of 1/4 of the rock diameter into the finish grade.

4.4 Recommended Plant Material

A list of recommended plant material, sizes and installation is as follows:

PLANT LEGEND: + SMALL TREES
 # ACCENT TREES WITH INTERESTING FLOWER, LEAF COLOR, HABIT OR CHARACTER
 ° PLANTS FOR SCREENING

PLANT LIST

BOTANICAL NAME

COMMON NAME

SEMI-EVERGREEN TREES

#	ACACIA SMALLII	SWEET ACACIA
#	CERCIDIUM FLORIDUM	BLUE PALO VERDE SOUTHERN LIVE
	QUERCUS VIRGINIANA	OAK

EVERGREEN TREES

°,+	ACACIA ANEURA	MULGA TREE
+	ARBUTUS UNEDO	STRAWBERRY TREE
°	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS
°,#	FEIJOA SELLOWIANA	PINEAPPLE GUAVA
°,+	LAURUS NOBILIS	GRECIAN LAUREL
°,+	LIGUSTRUM LUCIDUM	GLOSSY PRIVET
	OLEA EUROPEA 'SWAN HILL'	SWAN HILL FRUITLESS OLIVE
	PINUS ELDARICA	MONDEL PINE
	PINUS PINEA	ITALIAN STONE PINE
	QUERCUS ILEX	HOLLY OAK

°, #, + SOPHORA SECUNDIFLORA

TEXAS MOUNTAIN LAUREL

DECIDUOUS TREES

#, + CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'
CHITALPA TASHKENTENSIS 'PINK DAWN'
FRAXINUS O. 'RAYWOODII'
FRAXINUS VELUTINA 'MODESTO'
FRAXINUS VELUTINA 'RIO GRANDE'
PISTACIA CHINENSIS
PLATANUS MEXICANA
#, + PRUNUS CERASIFERA 'ATROPURPUREA'
PYRUS CALLERYANA 'BRADFORD'
QUERCUS BUCKLEYI 'REDROCK'
ULMUS PARVIFOLIA 'DRAKE'
#, + VITEX AGNUS-CASTUS
PROSOPIS SPECIES

DWARF PURPLE DESERT WILLOW
PINK DAWN CHITALPA
RAYWOOD ASH
MODESTO ASH
RIO GRAND ASH
CHINESE PISTACHE
MEXICAN SYCAMORE
PURPLELEAF PLUM
BRADFORD PEAR
REDROCK OAK
DRAKE ELM
CHASTE TREE
MESQUITE

PALM TREES

+ BRAHEA ARMATA
+ BUTIA CAPITATA
+ CHAMAEROPS HUMILIS
PHOENIX DACTYLIFERA
+ TRACHYCARPUS FORTUNEI
WASHINGTONIA ROBUSTA
WASHINGTONIA FILIFERRA

MEXICAN BLUE PALM
PINDO PALM
MEDITERRANEAN FAN PALM
DATE PALM
WINDMILL PALM
MEXICAN FAN PALM
CALIFORNIA FAN PALM

LARGE ORNAMENTAL SHRUBS

◦ BACCHARIS SARATHROIDES (MALE)
CAESALPINIA GILLIESII
COTONEASTER GLAUCOPHYLLUS
LAGERSTROEMIA INDICA
◦ LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'
◦ LEUCOPHYLLUM PRUINOSUM 'SIERRA BOUQUET'
◦ PITTOSPORUM TOBIRA
◦ RHUS OVATA
◦ SIMMONDSIA CHINESIS
VAUQUELINIA CALIFORNIA

DESERT BROOM
YELLOW BIRD-OF-PARADISE
BRIGHT-BEAD COTONEASTER
CRAPE MYRTLE
GREEN TEXAS RANGER
FRAGRANT RANGER
MOCK ORANGE
SUGAR BUSH
JOJOBA
ARIZONA ROSEWOOD

MEDIUM ORNAMENTAL SHRUBS

◦ CASSIA NEMOPHILA
◦ CASSIA PHYLLODENIS
CASSIA WISLIZENII
DALEA FRUTESCENS 'SIERRA NEGRA'
DALEA PULCHRA
ERICAMERIA LARICIFOLIA
EUONYMUS FORTUNEI 'COLORATA'
EUONYMUS JAPONICA
ILEX CORNUTA 'DWARF BURFORDII'
ILEX VOMITORIA 'NANA'
JUNIPERUS CONFERTA 'EMERALD SEA'
◦ LEUCOPHYLLUM CANDIDUM 'SILVER CLOUD'
◦ LEUCOPHYLLUM LAEVIGATUM
◦ LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO'
MYRTUS COMMUNIS 'COMPACTA'
RAPHIOLIPIS INDICA (MANY CULTIVARS)

DESERT CASSIA
SILVERY CASSIA
SHRUBBY SENNA
BLACK DALEA
PINK INDIGO BUSH
TURPENTINE BUSH
PURPLE-LEAF WINTER CREEPER
EVERGREEN EUONYMUS
DWARF BURFORD HOLLY
DWARF YAUPON
SHORE JUNIPER
SILVER RANGER
CHIHUAHUAN SAGE
RIO BRAVO SAGE
COMPACT MYRTLE
INDIAN HAWTHORN

VIBURNUM TINUS 'COMPACTA'
XYLOSMA CONGESTUM 'EL DORADO'

LOW ORNAMENTAL SHRUBS

BACCHARIS 'CENTENNIAL'
CONVOLVULUS CNEORUM
DALEA FRUTESCENS 'SIERRA NEGRA'
LEUCOPHYLLUM CANDIDUM 'THUNDER CLOUD'
LEUCOPHYLLUM ZYGOPHYLLUM
PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'
RHAPHIOLEPIS INDICA 'BALLERINA'
SALVIA CHAMAEDRYOIDES
SALVIA GREGGII 'SIERRA LINDA'
TEUCRIUM CHAMAEDRYS

LOW SPREADING GROUNDCOVERS

ACACIA REDOLENS 'DESERT CARPET'
BACCHARIS PILULARIS 'TWIN PEAKS'
GAZANIA RIGENS
GELSEMIUM SEMPERVIRENS
JUNIPERUS SABINA 'BUFFALO'
LANTANA 'NEW GOLD'
LANTANA MONTEVIDENSIS
LONICERA JAPONICA 'HALLIANA'
NANDINA DOMESTICA 'HARBOR DWARF'
OENOTHERA CAESPITOSA
ROSMARINUS OFFICINALIS 'PROSTRATUS'
SALVIA CHINOPHYLLA 'QUICK SILVER'
TEUCRIUM CHAMAEDRYS 'PROSTRATUM'
TRACHELOSPERMUM ASIATICUM
VERBENA RIGIDA
VINCA MAJOR

CACTUS/ACCENTS

BAILEYA MULTIRADIATA
CAESALPINIA GILLIESII
DASYLIRION WHEELERI
DIETES BICOLOR
FEROCACTUS ACANTHODES
FESTUCA OVINA 'GLAUCA'
FOUQUIERIA SPLENDENS
HEMEROCALLIS HYBRID
HESPERALOE PARVIFLORA
HYMENOXYLS ACAULIS
MUHLENBERGIA RIGENS
NOLINA MICROCARPA
OPHIPOGON JAPONICUIS
OPUNTIA SPECIES
PENSTEMON EATONII
SANTOLINA CHAMAECYPARISSUS
SANTOLINA VIRENS
YUCCA SPECIES

VINES

CAMPSIS RADICANS
MACFADYENA UNGUS CATI

DWARF TINUS VIBURNUM
COMPACT XYLOSMA
SAGO CYCAD

CENTENNIAL COYOTE BUSH
BUSH MORNING GLORY
SIERRA NIGRA DALEA
THUNDER CLOUD RANGER
BLUE RANGER
DWARF MOCK ORANGE
INDIAN HAWTHORN
MEXICAN BLUE SAGE
SIERRA LINDA
GERMANDER

CREEPING ACACIA
DWARF COYOTE BUSH
GAZANIA
CAROLINA JESSAMINE
BUFFALO JUNIPER
NEW GOLD LANTANA
PURPLE TRAILING LANTANA
HALL'S HONEYSUCKLE
SPREADING HEAVENLY BAMBOO
WHITE EVENING PRIMROSE
SPREADING ROSEMARY
QUICK SILVER SAGE
PROSTRATE GERMANDER
ASIATIC JASMINE
VERBENA
LARGE-LEAF PERIWINKLE

DESERT MARIGOLD
YELLOW BIRD-OF-PARADISE
DESERT SPOON
EVERGREEN IRIS
BARREL CACTUS
BLUE FESCUE
OCOTILLO
DAY LILY
RED YUCCA
ANGELITA DAISY
DEER GRASS
BEAR GRASS
MONDO GRASS
BEAVER TAIL CACTUS
FIRECRACKER PENSTEMON
LAVENDER COTTON
GREEN SANTOLINA
YUCCA

TRUMPET VINE

ROSEA BANKSIAE

CATS CLAW
BANKS ROSE

PROHIBITED PLANTS

CYNODON DACTYLON +++

MORUS ALBA

NERIUM OLEANDER (MINIATURE OLEANDER
PERMITTED)

OLEA EUROPAEA °°°

POPULUS SPECIES

°°°HYBRID BERMUDA GRASS IS ACCEPTABLE°°°

+++FRUITLESS VARIETIES ARE ACCEPTABLE°°°

COMMON BERMUDA GRASS

COMMON MULBERRY

OLEANDER SPECIES

COMMON OLIVE

COTTONWOODS

FRUIT TREES OF ANY KIND

4.5 Irrigation Design Intent

- A. The Henderson area and surrounding Las Vegas Valley have extreme climatic conditions that create a difficult environment for many species of plant material to survive. It is essential for the landscape irrigation system to utilize current technology in both product application and system design, to effectively accommodate the harsh soil conditions, wind velocities, temperature extremes and low humidity of the Valley.
- B. Automatic irrigation systems that are water efficient and low maintenance are required for all planting areas.
- C. The irrigation system shall be designed in conjunction with landscape planting. Areas requiring overhead spray shall be minimized and shall be restricted to turf and groundcover beds such as gazania and other small growing ground cover and annuals. The following irrigation standards under this Subsection "C" are recommendations only but applicants are strongly encouraged to utilize these standards in their landscaping improvements.
 1. All necessary overhead irrigation should conform to the following:
 - (a) Areas that must be sprayed adjacent to roadways and walkways shall utilize low-angle spray nozzles on 4" pop-up spray heads. Groundcover areas should utilize 12" pop-up heads. Spray heads should be placed 4" from the back of curb for turf areas and 8" for groundcover areas. (Rotor heads are not allowed immediately adjacent to roadway edges.)
 - (b) Spray irrigated areas should be at least 6' wide.
 - (c) In no case should any overhead system throw water directly on any roadway, walkway or paved surface.

2. All drip irrigation is recommended to conform to the following:

- (a) Drip irrigation systems should be designed to provide for water demand of plant material at one (1) year maturity. Trees and palms (24" box and larger) must be designed to provide for three (3) year maturity water requirements.

The minimum quantity of emitters per plant should be in accordance with the following table and spaced equally around the rootball. Some variation may occur due to differences in water demand between plant material and soil conditions. If on a slope, place emitters on the uphill side.

<u>Plant Size</u>	<u>Emitter Volume</u>	<u>Quantity</u>
1 gallon material	1 GPH	1 each
5 gallon material	1 GPH	2 each
15 gallon material	2 GPH	3 each
24" box material	2 GPH	4 each
36" box material	2 GPH	6 each
48" box material	2 GPH	8 each
54" box material	2 GPH	9 each
60" box material	2 GPH	10 each
Palm trees	2 GPH	4 each

3. Overhead and drip irrigation systems should be zoned for exposure, topography and varying water requirements of plant materials, in addition to water limitations. The use of a landscape/irrigation specialist is recommended so system is properly designed. At a minimum, the irrigation design should account for the following:

- (a) Varying water spray (precipitation) rates and/or watering depth (or schedule together whenever possible).
- (b) South and west exposures together, north and east exposures together (separate all four whenever possible).

4. All irrigation systems should utilize controllers capable of a minimum of three (3) operating programs and four (4) start times per program.

5. All zones shall be activated by an electric control valve that is compatible with the control system manufacturer. All control valves must be capable of adjustment to the proper zone operating pressure through flow control or an attached pressure regulator.

6. Control valve on all overhead spray should be adjusted to the

design operating pressure. Similar fine-tuning adjustments shall be performed on all drip irrigation zones.

7. All spray nozzles should be adjusted as necessary to prevent direct spray on any roadways, walkways, structures or paved surfaces, as well as overthrow into any planting bed that is drip irrigated. Head nozzles and arc patterns should be changed as required.
- D. All watering must conform to the water use requirements in the Declaration, if any, and City of Henderson. Contact the City of Henderson water department for watering schedules and usage restrictions.
- E. If an owner's irrigation system causes damage to any perimeter wall or other component that the Master Association is responsible for, the owner may be held liable to the Master Association for such damages.

5. Appendix Construction Material Guideline

5.1 Construction Material Guidelines

The following Guidelines are provided to identify the minimum acceptable standards for construction materials and methods to be used on the exterior of structures. These minimum guidelines are intended to give structures exposed to the weather a reasonable life span requiring relatively low maintenance.

- A. General
 1. All structures must meet the construction and structural requirements of the Uniform Building Code (most current edition) as adopted by the City of Henderson.
- B. Stucco Wrapped Columns, Beams, etc.
 1. All horizontal surfaces shall be slightly sloped to prevent ponding of water.
 2. All horizontal surfaces shall have a self-sealing elastomeric cap sheet applied below the stucco finish that laps up or down adjacent vertical surface a minimum of 4" to prevent water intrusion.
 3. Expansion and control joints shall be located as specified by the licensed stucco contractor.
 4. Aluma Wood is permitted for patio covers.

C. Metal

1. All metal shall be of corrosion-resistant materials such as stainless steel, etc., or have a baked enamel finish.
2. All connecting hardware shall be hot dripped galvanized, and cut ends shall be properly primed and painted to prevent rust or corrosion.
3. All metallic materials shall be compatible to prevent electrolysis.

D. Molded Lattice

Molded lattice panels shall be of adequate thickness and supported or secured at appropriate intervals to prevent sagging and deflection as a result of length of span, wind, heat or ultra-violet exposure.

E. Wood

As a natural grown material, wood inherently possesses qualities that change in its properties over time. Changes in moisture content will cause dimensional changes, splitting and cracking. The Valley's arid climate further increases the likelihood of aesthetic deterioration at a more rapid pace than other materials. It is recommended that exposed wood not be used for exterior structures.

However, if a homeowner is willing to take the risk of higher maintenance or replacement costs due to the use of exposed wood in the construction of a shade structure, etc., the following information has been provided by the Western Wood Products Association, which provides criteria that will give exposed wood the best possible durability if continually maintained. Although this information is being provided, it is recommended that exposed wood products not be used.

1. Specie: Western Cedar or Redwood.
2. Grade: Select clear, B and better (structural engineering to be consistent with properties of wood used).
3. Moisture Content: 15% maximum (kiln dried).
4. Size: 2" nominal - minimum thickness.
4"x or greater - it is recommended that only glue laminated materials be used.
5. Spans: Conservatively apply building code allowable spans to minimize deflection.

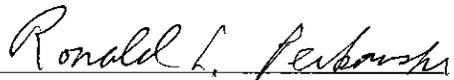
6. Connections: Pre-drill holes for bolts. Bolts or screws shall be hot dipped galvanized or stainless steel. Provide solid blocking between trellis members over all supports (beams) and every 8'-0" maximum.
7. Storage: All materials air dried on site, covered for 2 weeks prior to construction. Follow lumber storage procedures by the Western Wood Products Association.
8. Finish: All surfaces to be painted prior to installation. Paint - minimum 1 coat oil-based primer, plus 1 coat latex top coat (as directed by paint manufacturer and as allowed by law) or minimum 2 coats stain blocking latex primer and latex top coat. Re-apply every five years.
9. Separation to concrete and/or earth: As required by Uniform Building Code.

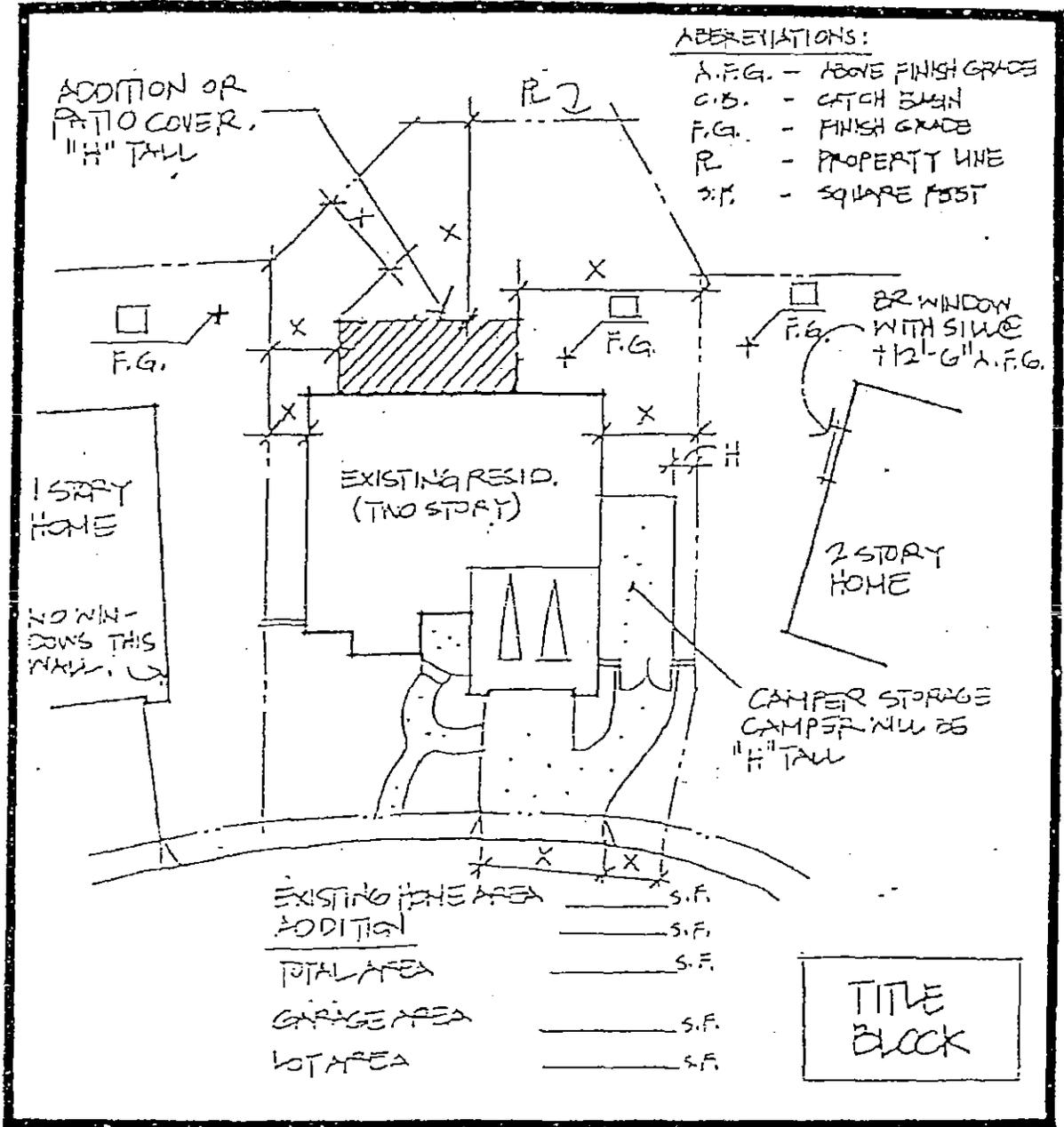
5.2 Figures. Figures as described above are attached hereto.

IN WITNESS WHEREOF, these Amended and Restated Homeowner Architectural and Landscape Guidelines and Standards has been adopted by the Association as of this 20 day of September, 2012. The undersigned hereby certify that these Guidelines and Standards have been adopted and approved in accordance with the NRS 116 and the Association governing documents.

GREEN VALLEY RANCH COMMUNITY ASSOCIATION,
a Nevada non-profit corporation

By: 
Its: President
Print Name: Michael Forman

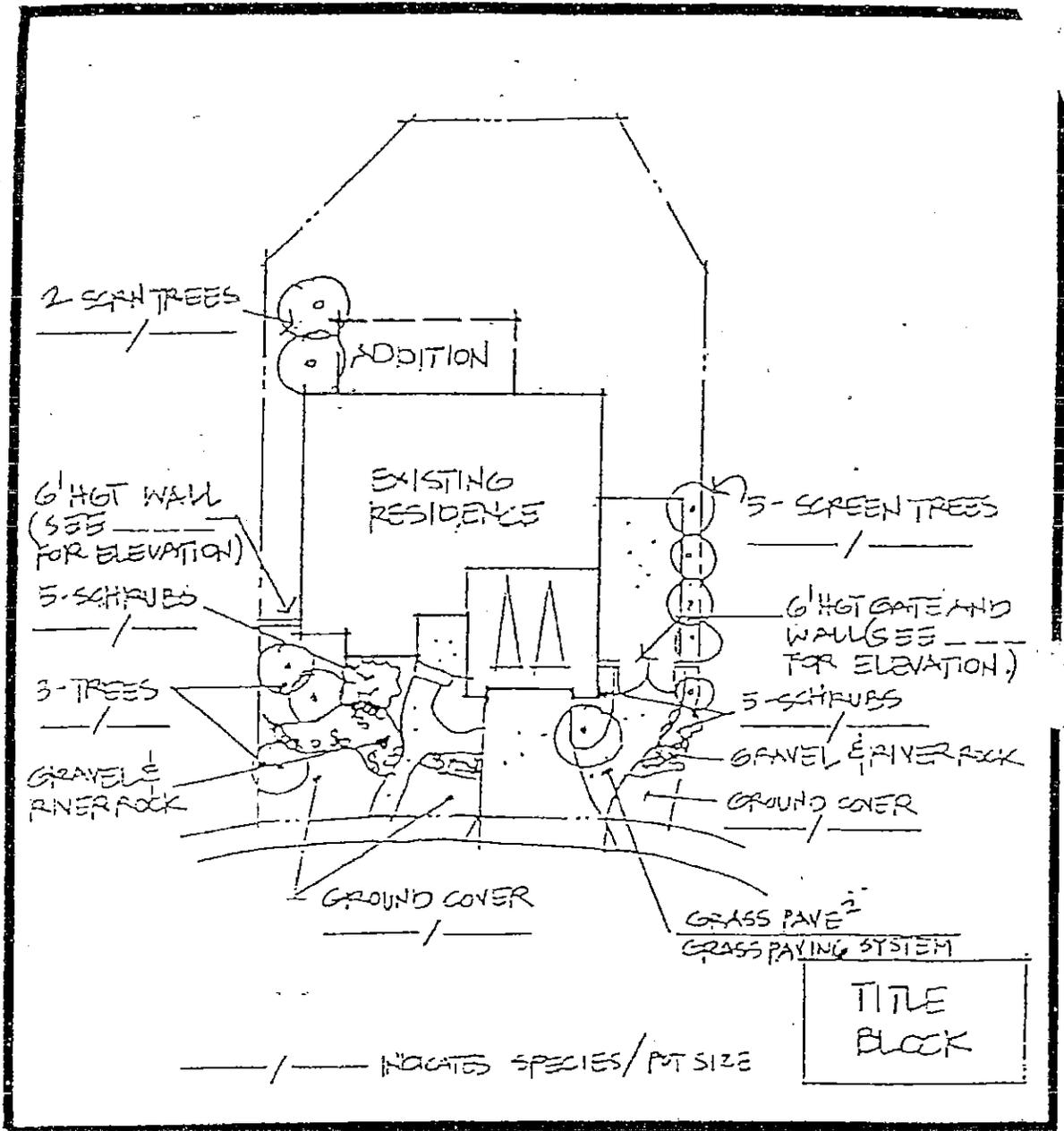
By: 
Its: Secretary
Print Name: Ronald L. Perkowski



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 PROJECT ADDRESS, LEGAL DESCRIPTION,
 APPLICANT NAME AND PHONE NUMBER

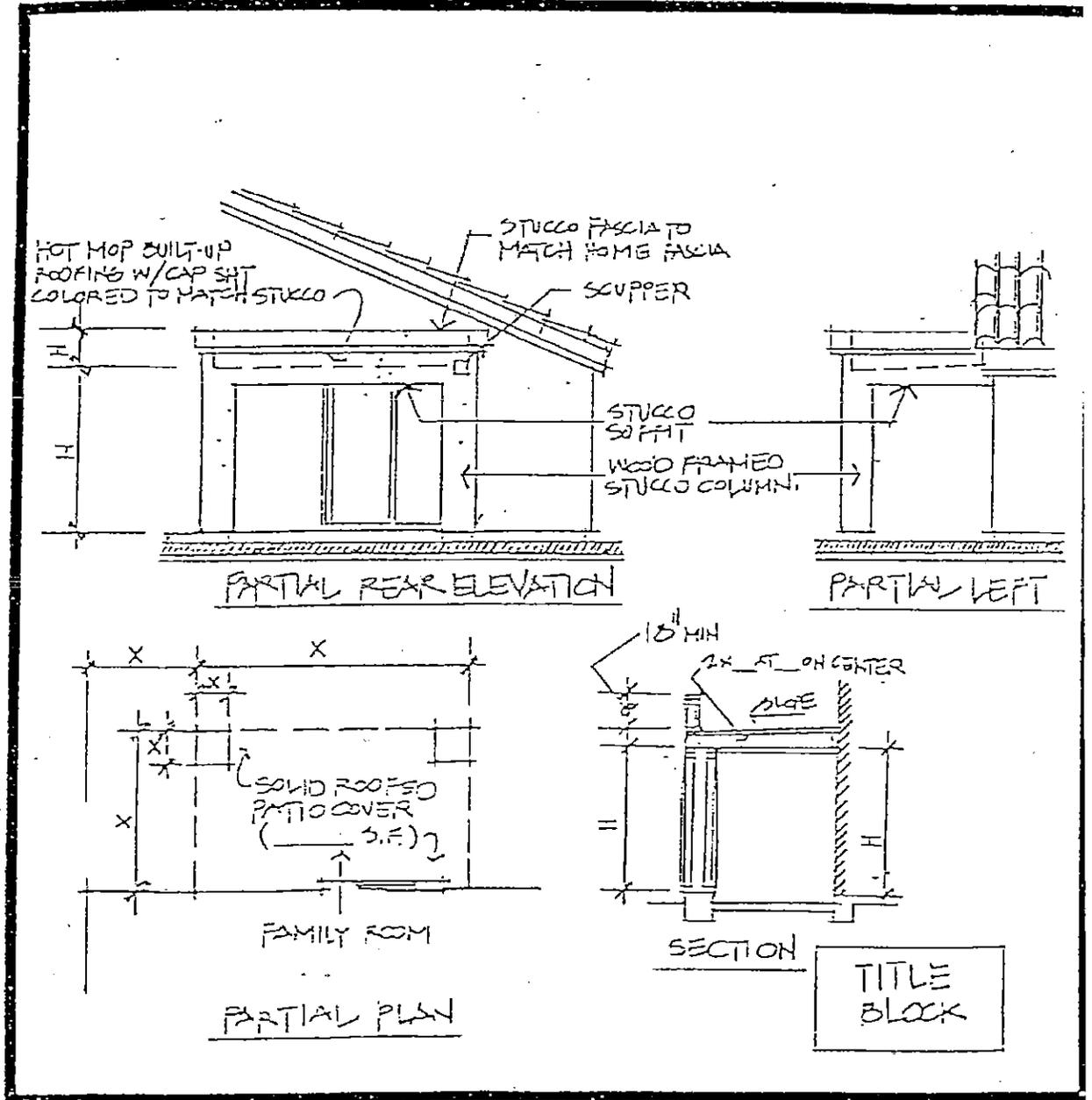
SAMPLE OF SITE PLAN REQUIRED BY ALRC

(FIGURE 1)



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 APPLICANT NAME AND PHONE NUMBER

SAMPLE OF LANDSCAPING PLAN REQUIRED
 BY ALRC (FIGURE 2)

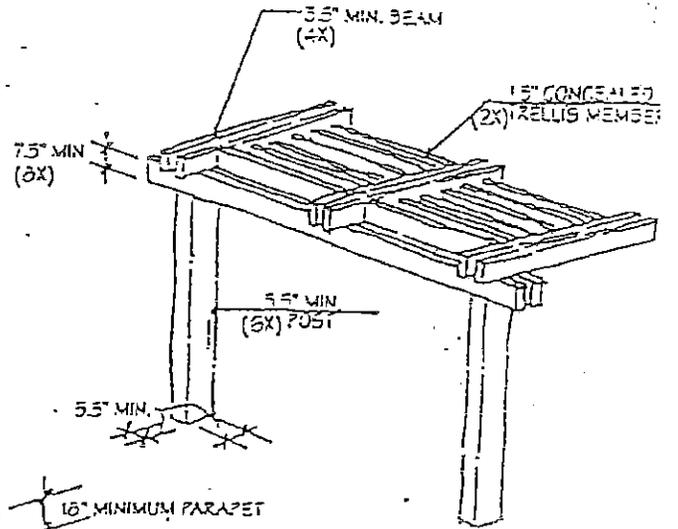


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APPLICANT NAME AND PHONE NUMBER

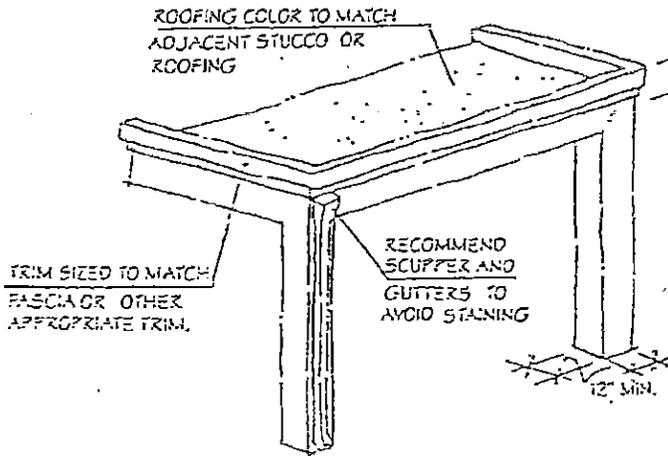
SAMPLE OF ARCHITECTURAL DRAWINGS
REQUIRED BY ALRC

(FIGURE 3)

IF NO PARAPET, PROVIDE HOT MOP ROOFING COVERED WITH ROOF TILES TO MATCH EXISTING ADJACENT ROOF.

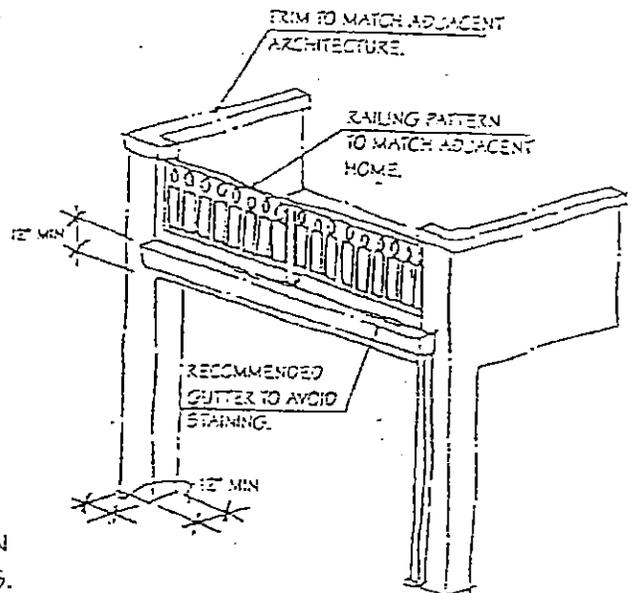


TYPICAL PATIO COVER WITH TRELLIS ROOF (FIGURE 4)

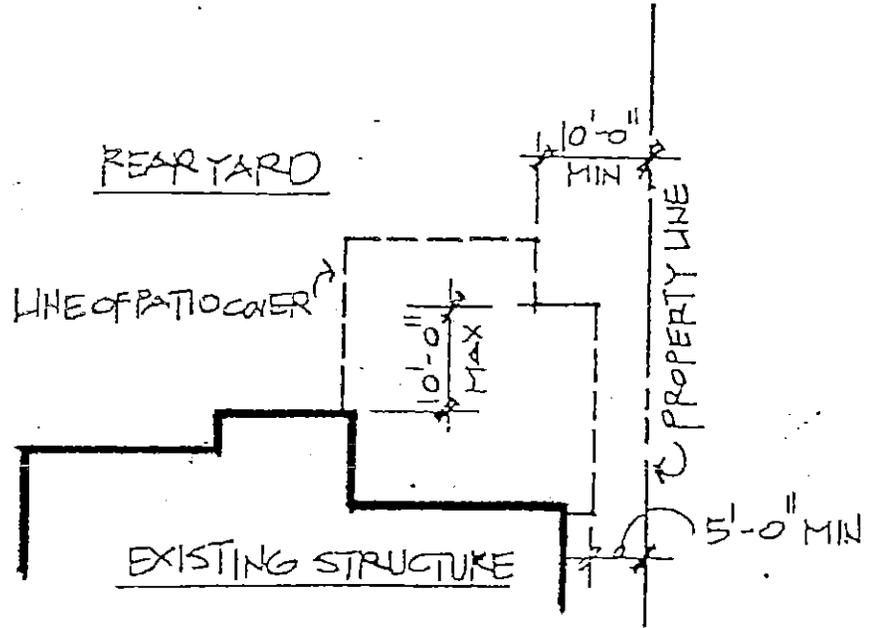


TYPICAL PATIO COVER WITH SOLID ROOFING (FIGURE 5)

SEE SECTION 3.0 FOR CONSTRUCTION INFORMATION AND FIGURE 3 FOR SAMPLE SUBMITTAL DRAWINGS.



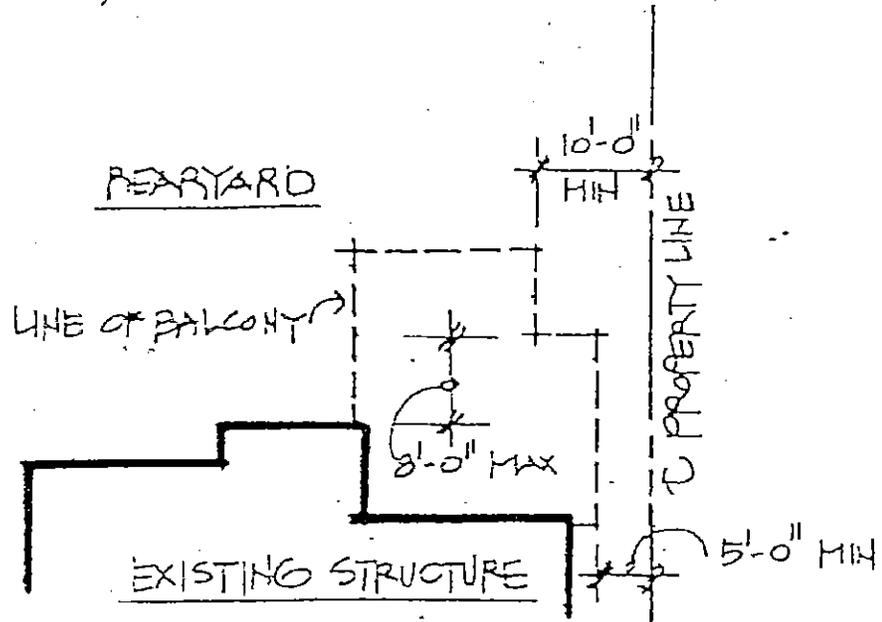
TYPICAL BALCONY (FIGURE 6)



PATIO COVER SIDEYARD SETBACK

(SEE 3.1C)

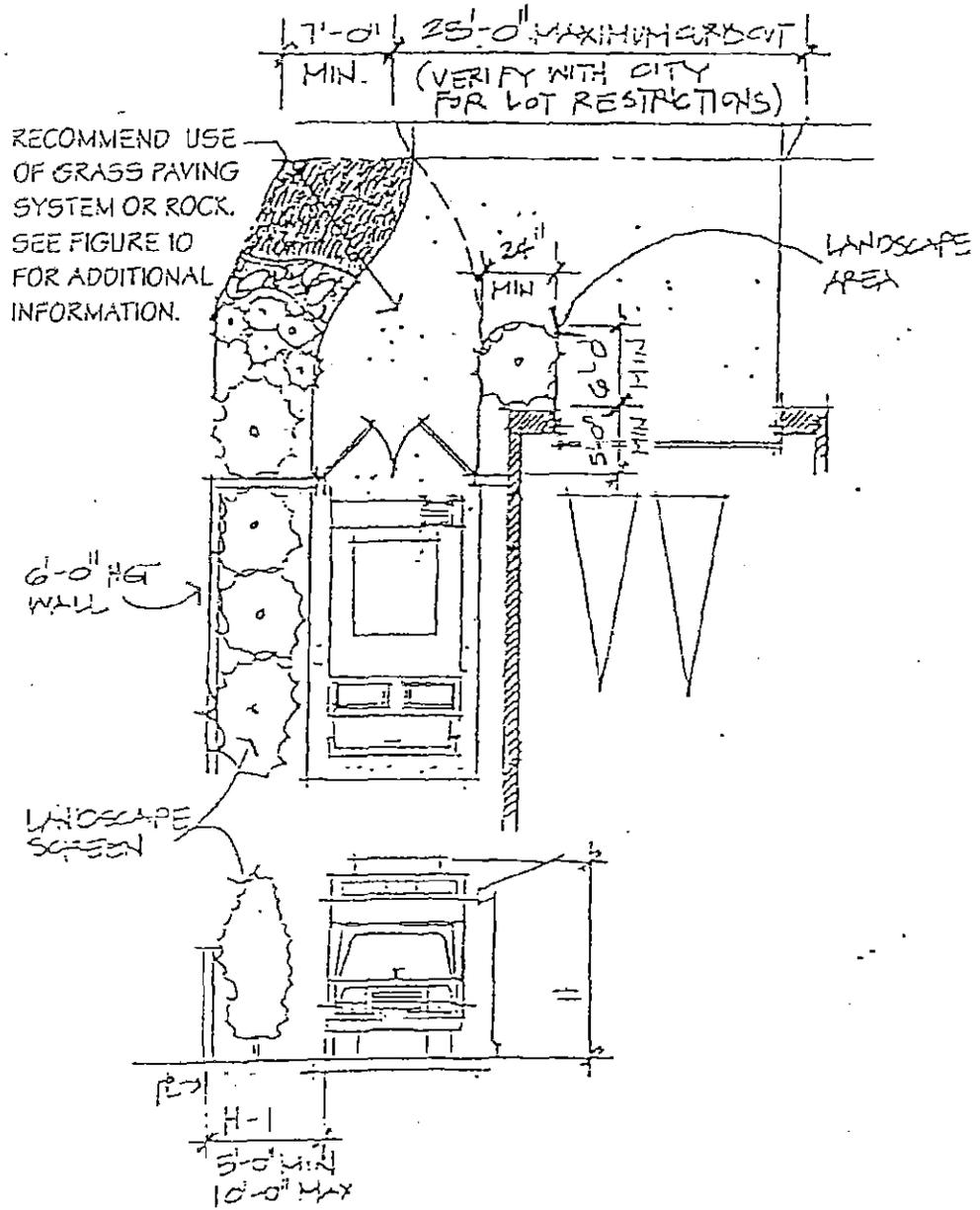
(FIGURE 7)



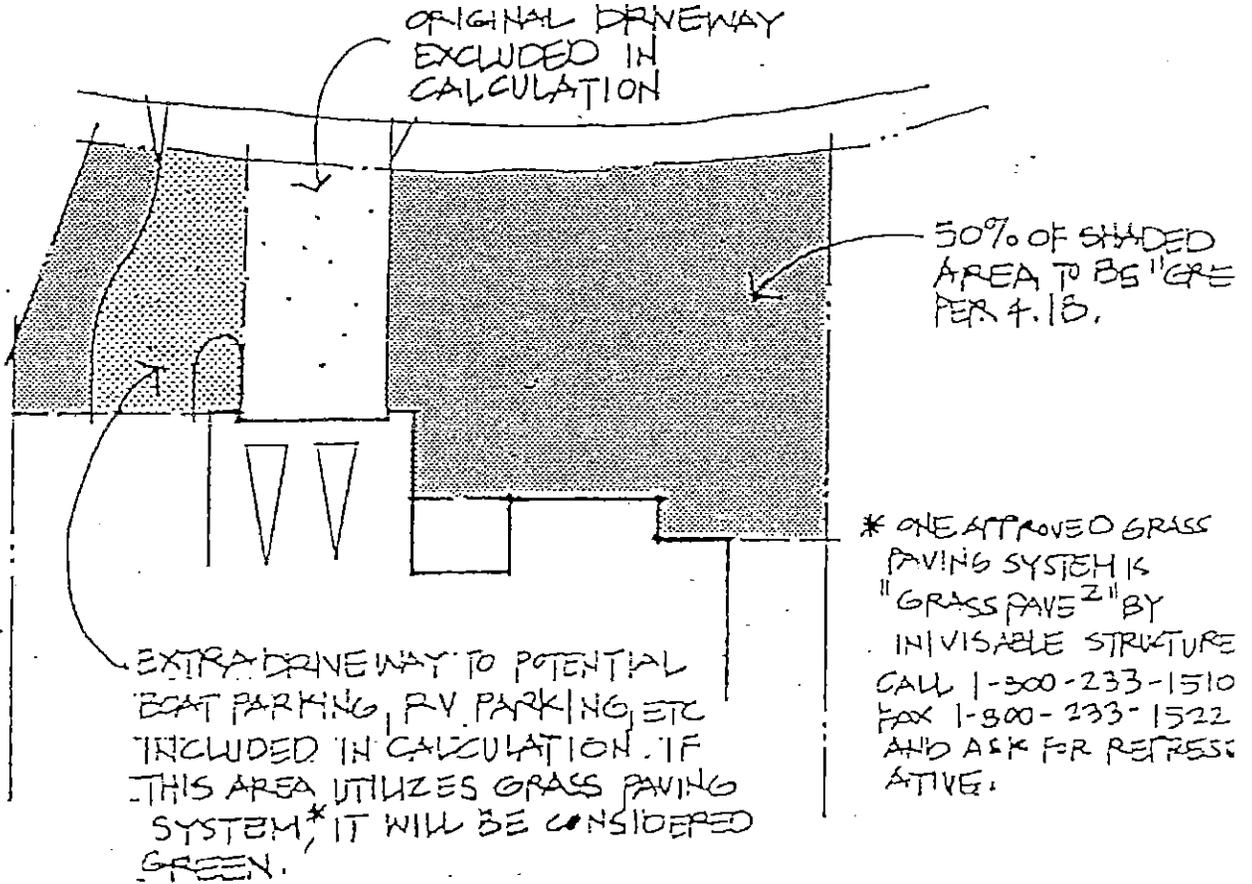
BALCONY SIDEYARD SETBACK

(SEE 3.2C)

(FIGURE 8)



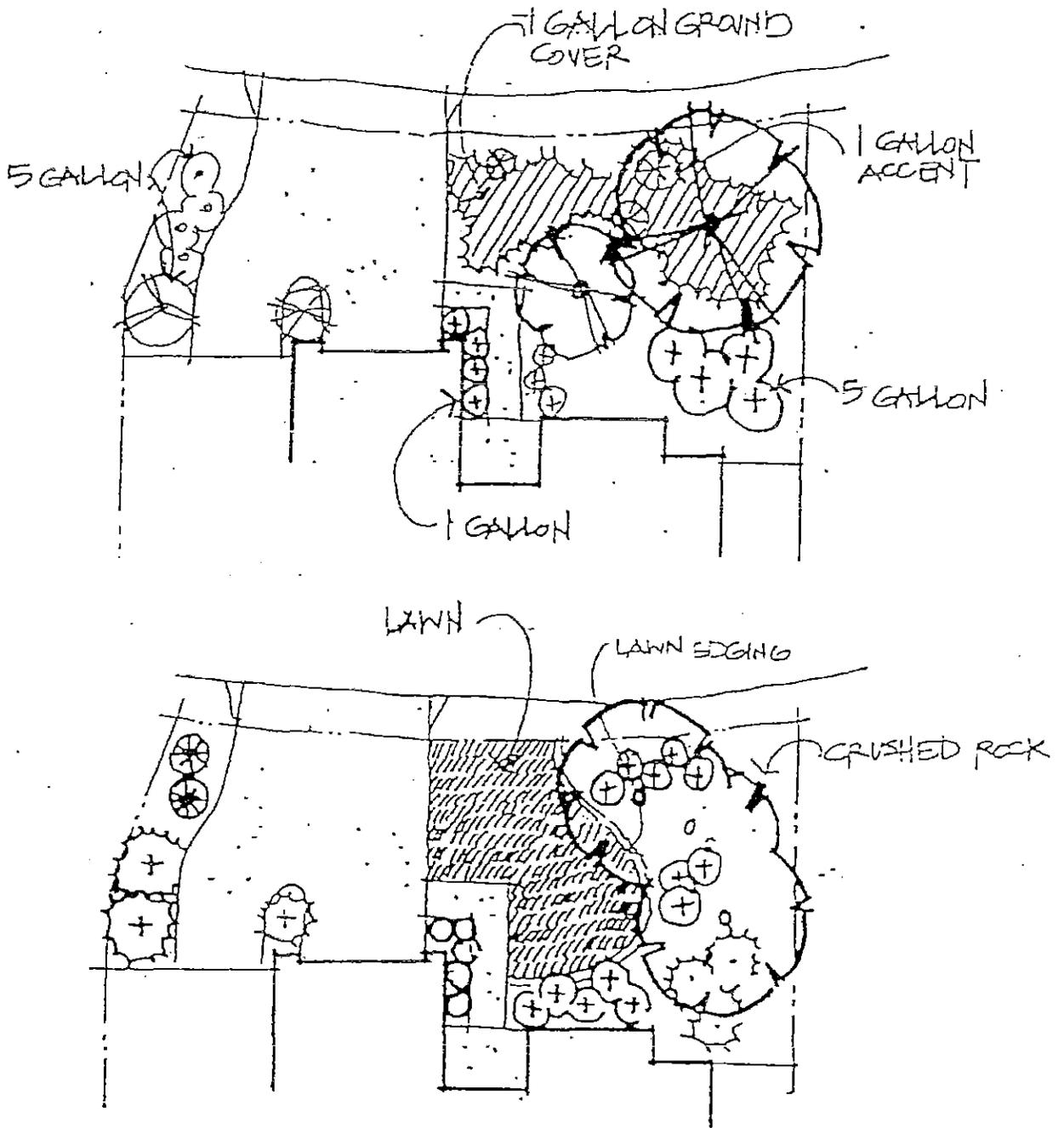
DRIVEWAY AND PARKING (SEE 3.4A)
(FIGURE 9)



CALCULATION FOR FRONTYARD GREEN

(SEE 4.15)

(FIGURE 10)



50% "GREEN" WITH LAWN REDUCTION

SAMPLE FRONTYARD GREEN LAYOUT

(FIGURE 11)